

MCCG



TerritoryLife

Mitchell Creek Green
Design Guidelines

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Revision Table

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All care has been taken to ensure that the Design Guidelines comply with current planning and building legislation. However, it is the owner or the builder's responsibility to ensure that construction of homes and landscapes complies with all Local and Territory statutory requirements.

1.0 About These Guidelines

These Guidelines are intended to help you get the most out of living in Mitchell Creek Green. A key element of living in Mitchell Creek Green is a sense of connection to Mitchell Creek and a supporting network of parks and green streets. In addition to benefitting from these amenities, your home can also make a positive contribution to the overall look and feel of the community. These Guidelines work to protect the value of your investment by ensuring that all homes meet the same standard.

We have grouped the key aspects of making a great home and community into those that relate to:

- **Functional Homes;**
- **Outdoor Areas;** and
- **Streetscape.**

Each topic contains:

- **Objectives** to help outline the intent;
- **Design Suggestions** providing options and strategies for consideration; and
- **Development Controls** which specifies those elements that must be adhered to.

Diagrams and imagery are provided to assist or inspire where relevant.

1.1 How to Submit

All purchasers must submit digital copies of plans and documents to Territory Life for Preliminary Approval using the email address available through the Mitchell Creek Green website www.mitchellcreekgreen.com.au

Required documents include:

- 1.1.1 a site plan that indicates setbacks from boundaries;**
- 1.1.2 floor plans and elevations;**
- 1.1.3 a Stormwater Management Plan (SMP);**
- 1.1.4 an Erosion and Sediment Control Plan (ESCP);**
- 1.1.5 a Landscaping Plan; and**
- 1.1.6 a Materials and Finishes Schedule and annotated illustrative elevations or 3D renders.**

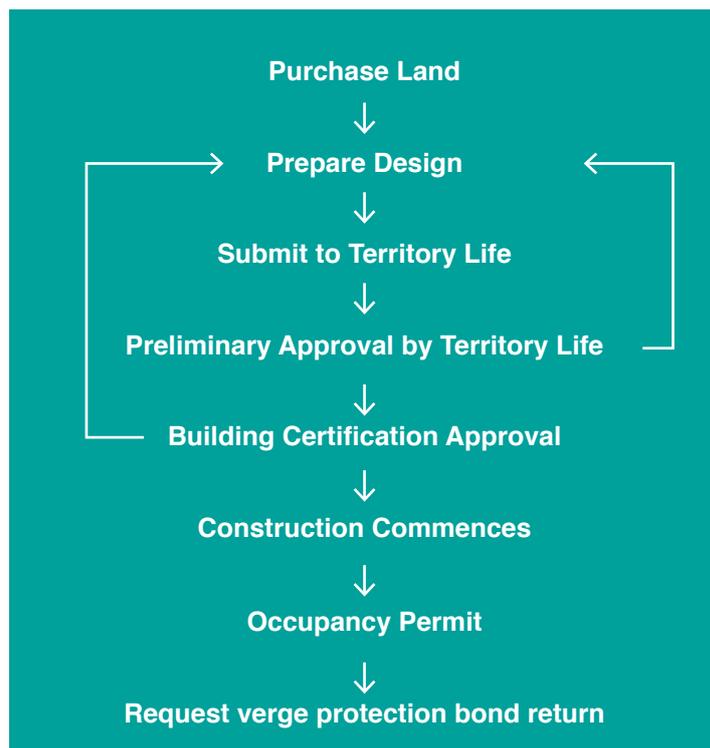
Letters of approval or refusal will be returned electronically along with any comment or suggestions to rectify, if required.

1.2 Design Review Process

The design review process has been established to administer and implement these design guidelines as well as assist you to plan your new home.

You are required to comply with the Design Guidelines and all home designs must be submitted to Territory Life for assessment against the design guidelines prior to being lodged with a Building Certifier for building approval.

Designs will be approved based on these guidelines; however innovative submissions that are in line with the



character of Mitchell Creek Green and intent of the Design Guidelines may be considered on their individual merit. Approval of any variations to the design guidelines will not create precedents for future approvals.

A checklist for submitting your plans and designs is included at the back of this document.

1.3 Protecting Your Investment

In order to protect your investment within Mitchell Creek Green and minimise unnecessary damage to street infrastructure throughout the home building phase, purchasers will be required to pay a Verge Protection Bond of \$1,200 at settlement. Should any damage be caused to verge, footpath or road areas at the front of the property, development fencing or other subdivision infrastructure during the construction of homes on the lots, this will be required to be rectified by the purchaser. Should the damage not be rectified by the purchaser, the cost for Territory Life to rectify damage will be deducted from the Verge Protection Bond.

Purchasers should discuss this requirement with their home builder and emphasise to them the importance of preventing damage or taking steps to repair damage if it occurs. Mitchell Creek Green is your neighbourhood and your community. Your support in keeping it a pristine environment by managing your home builder is appreciated.

1.4 Legislative Requirements

These design guidelines or any approval provided under these guidelines by Territory Life or its Design Reviewer do not replace the legislative requirements of the City of Palmerston, Territory Government or the National Construction Code. It is the owner or the builder's responsibility to ensure that construction works comply with all legislative requirements.

2.0 Functional Homes

A quality home facilitates its occupants needs and desires, works to minimise negative impacts and maximise positive benefits. To achieve this efficiently, better homes should respond meaningfully to their local context and consider how the occupants choose to live.

Buildings which respond to the local climate, context and lifestyle will generate an authentic character for the neighbourhood that transcends architectural 'style'.

The design elements considered in this section are:

- Responding to Climate
- Responding to Surroundings
- Height & Scale
- Parking & Access
- Stormwater & Drainage
- Ancillary Structures





Breezeways between built elements of a home are encouraged.

Shading devices are encouraged.

2.1 Responding to Climate

Objectives

- To promote buildings which reduce reliance on mechanical cooling.
- To promote durable, low-maintenance buildings.

Design Suggestions

Breeze Capture

- Investigate opportunities for breeze capture, such as directional screens or blade walls located near openings to direct breezes into your home.
- Avoiding long sections of impermeable fencing and locating planting to funnel rather than buffer breezes.
- Consider the ability of your house design to be cross-ventilated and use breezeways between building elements where possible.

Solar Protection

- Sun hoods, louvres and other devices are encouraged to shade and protect windows and openings from direct sunlight, particularly those facing west.
- West facing living areas should be avoided where possible.
- Locate utility areas such as driveways, storage and clothes drying areas to the western side of the lot where possible.

Colours & Materials

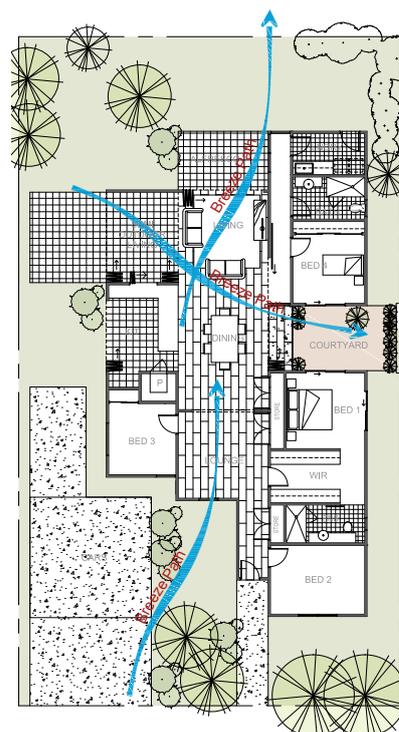
- A light colour palette is recommended for the main exterior walls, pavers and roofing on your home. Light colours absorb less radiant heat from the sun and help to keep your home cool.

Other Elements

- It is recommended that your roof space be ventilated to allow rising hot air to escape.

Development Controls

- 2.1.1 Eaves shall have a minimum 900mm overhang, except for gables which can be 450mm and zero lot lines.**
- 2.1.2 Openings must be designed to optimise passive cooling (cross-ventilation) opportunities from local breezes and reduce reliance on mechanical ventilation and air-conditioning.**
- 2.1.3 Floor to ceiling heights are to be a minimum of 2.6m to enhance the sense of light and openness.**
- 2.1.4 A minimum of one car bay shall be covered by way of a carport or garage and must be constructed at the same time as the main dwelling and be built in a style and of materials**



Arrangement of openings to optimise cross ventilation opportunities.



complementary to the dwelling.

2.2 Responding to Surroundings

Objectives

- To capture benefits of views and outlook.
- To minimise impacts of undesirable elements.

Design Suggestions

- Balconies and elevated decks are encouraged to take advantage of amenity and views.
- Landscape and structural screening elements are encouraged where there is an identified and demonstrable impact from a major road, power transformer or other infrastructure element.

Development Controls

- 2.2.1** Lots with a side or rear boundary directly onto Open Space are required to capture the benefits of this amenity interface and must demonstrate how passive surveillance of open space is provided through facing it with generously scaled windows and locating alfresco and entertainment areas to address the Open Space (also see Section 4.3).
- 2.2.2** Type and material of fencing located adjacent to open space must be visually permeable, however it is not permitted to be chainwire fencing.
- 2.2.3** In Stage 2A and Stage 2B, the side boundaries of the four lots directly abutting the two small open space lots (Parks) will be permitted some relaxation against this Development Control.



2.3 Height & Scale

Objectives

- To provide a consistent scale of development that allows for housing design innovation and variation within an acceptable range.
- To maintain a considerate level of privacy between dwellings.

Design Suggestions

- Two storey buildings and pop-up elements / terraces are encouraged, particularly where they enable access to breezes or views.
- For second storey elements, it is recommended that sill heights be at least 1.5m above floor level or windows have fixed translucent glazing for any part of the window below 1.5m above floor level.

Development Controls

- 2.3.1 A maximum of two storeys is permitted above the finished ground levels of the subdivision.**
- 2.3.2 Relocatable buildings or temporary dwellings are not permitted.**
- 2.3.3 Any upper level decks or balconies must incorporate privacy measures to mitigate overlooking into private outdoor spaces of adjoining properties.**
- 2.3.4 Screening devices shall be 75 percent obscure, permanently fixed, made of durable material and restrict views in the direction of overlooking into private outdoor spaces of adjoining properties.**
- 2.3.5 The design and positioning of a two storey dwelling on a site shall minimise any overshadowing impacts on adjoining properties to not more than 25 percent of a site area as measured at midday on 21 June.**



2.4 Parking & Access

Objectives

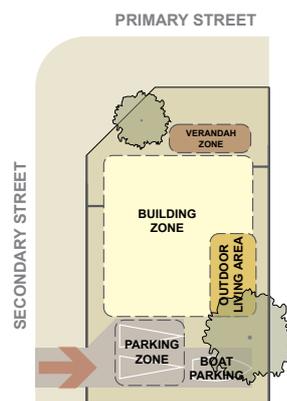
- To minimise the visual impact of parking provision on the streetscape.
- To accommodate additional lifestyle vehicles (boats, caravans or trailers) in a functional, flexible and unobtrusive manner.
- To provide for sufficient parking of vehicles on the site.

Design Suggestions

- Open carports located to the side of the house are encouraged to facilitate breeze flow and create the potential for use as occasional secondary outdoor spaces.
- The roof of carports and garages should be integrated into the main roof of the house.
- Consider making allowance along the side of the dwelling to allow for the storage of boats and trailers at the rear of the lot.
- Once inside the property boundary, driveways should widen to match the width of the garage, carport or parking area.
- Driveways should match the natural slope of the verge to ensure adequate run-off and an uninterrupted footpath for local residents.
- Open carports provide good access for storage of additional recreational vehicles behind the main building line.
- Hardscape areas for storage of additional vehicles can function as courtyard outdoor living areas when not being used for storage.
- Vehicle access for corner lots is encouraged to be from the secondary street.

Development Controls

- 2.4.1 Driveway crossovers must be constructed in accordance with the current City of Palmerston Council standards (refer to www.palmerston.nt.gov.au).**
- 2.4.2 Garages and carports must be constructed at the same time as the main dwelling and be built in a style and of materials complementary to the dwelling.**
- 2.4.3 Garages and carports cannot project more than 1.5m in front of the main building line.**
- 2.4.4 Garage locations and driveway crossovers must be located so they do not clash with any subdivision street infrastructure (stormwater pits, street trees, light poles etc).**
- 2.4.5 In Stage 2B, vehicular access to those lots fronting Zuccoli Parade is to be off the internal street.**
- 2.4.6 A minimum of two vehicles must be demonstrated to be able to be accommodated within the site boundaries, with a minimum one car parking bay to be covered by way of a carport or garage.**



For corner lots, parking access is encouraged to be from the secondary street.



Tandem parking for boat and lifestyle vehicle storage is encouraged.

2.5 Stormwater & Drainage

Objectives

- To ensure that lots drain appropriately.
- To manage erosion and sediment during the building construction period.
- To ensure that neighbours' homes are not impacted by your stormwater runoff.

Design Suggestions

- Construction work should consider environmentally sensitive strategies to minimise erosion and protect waterways.
- Strategies to absorb and minimise stormwater run-off such as gardens and permeable paved areas are encouraged.
- Hard landscape treatments, pebble drains, splashpads or densely planted gardens are recommended below the eave line to minimise erosion.
- Stormwater overland flows should be treated responsibly with appropriate landscaping techniques which allow water to drain to the street stormwater system.

Development Controls

- 2.5.1 Sites must fall away from the building line.**
- 2.5.2 Properties may be re-graded to achieve sensible building levels whilst maintaining a fall towards the street, adjoining open space or drainage pits, if provided.**
- 2.5.3 Finished floor levels should be above the finished ground level to provide 'freeboard' clearance of the building from the surrounding yard and protect the dwelling in the case where the anticipated major rainfall event is exceeded or there is a blockage in the drainage system during the major event.**
- 2.5.4 A Stormwater Management Plan (SMP) shall be submitted that shows existing and finished site levels, overland flow paths & piped drainage systems where provided.**
- 2.5.5 The SMP shall demonstrate provisions for stormwater disposal to the stormwater system in the street or at the back of the lot and shall ensure run-off is minimised to adjoining properties. Where a lot connection to the public stormwater system is provided (most but not all lots), the SMP needs to demonstrate how stormwater will be directed towards the connection.**
- 2.5.6 The SMP shall illustrate the underground piped drainage system proposed to be constructed within lots that collects runoff from rear yard areas and connects to the public stormwater system in the street.**
- 2.5.7 An Erosion and Sediment Control Plan (ESCP) must be submitted and complied with during construction of your home.**

2.6 Ancillary Structures

Objectives

- To ensure that functional requirements of a home are considered and appropriately incorporated into your home.

Design Suggestions

- Matching materials and colours of outdoor ancillary structures to those of the main dwelling is encouraged.
- Lock-up storage spaces / rooms are encouraged, particularly for houses with carports.

Development Controls

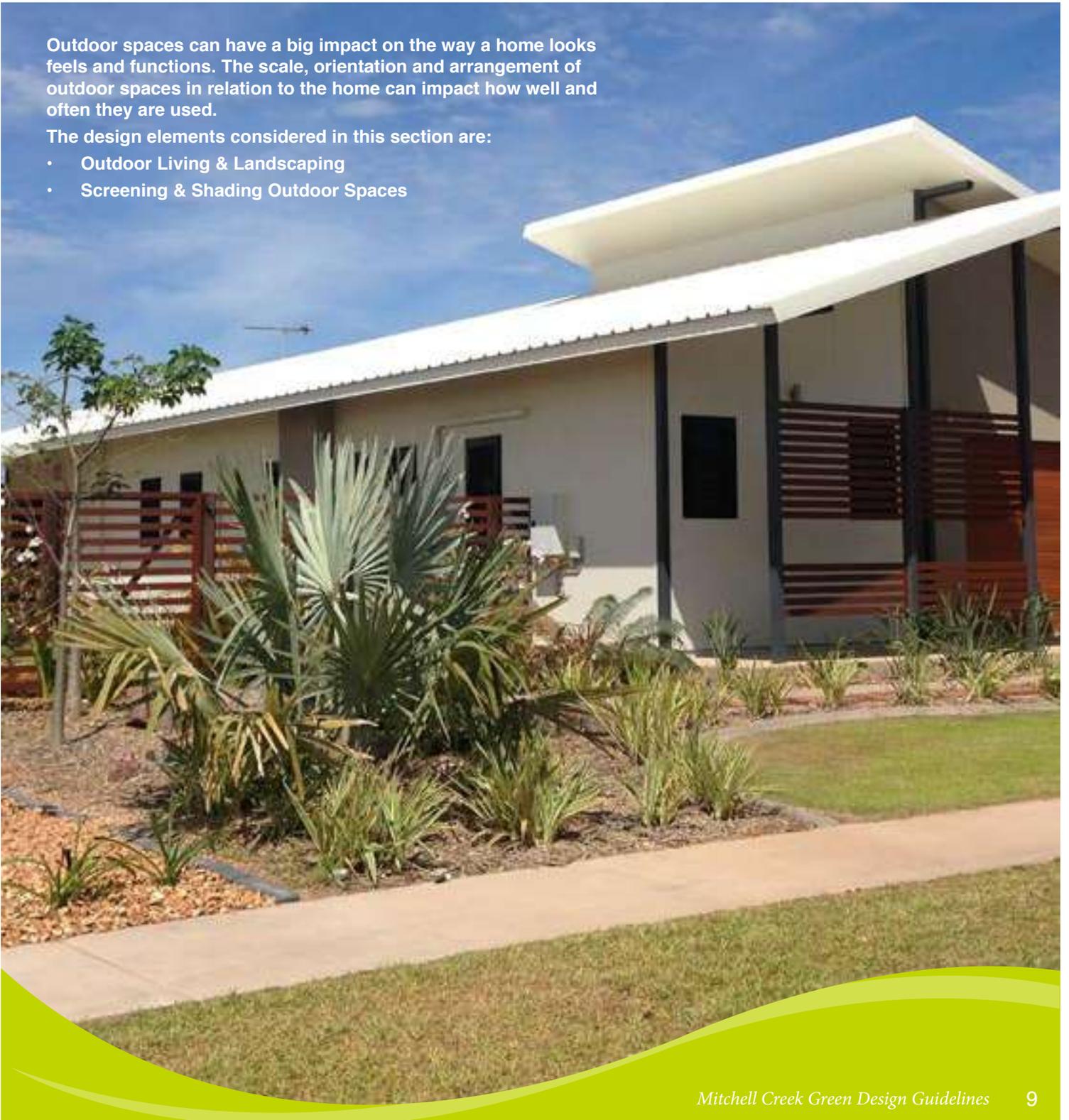
- 2.6.1 Ancillary structures (e.g. sheds, clothes lines) must not be visible from the street.**
- 2.6.2 Every house must include an external drying area and facilities (i.e. a clothes line or undercover drying area).**
- 2.6.3 The area of sheds should not exceed 12m², with a maximum height to roof ridge of 3m.**
- 2.6.4 Lock-up storage spaces/rooms may be located anywhere behind the main building line, but must be either located under the main roof or built with the same or complementary materials as the dwelling.**
- 2.6.5 All outdoor structures must be noted on the site plan when lodging the siting and design plans for approval.**
- 2.6.6 Ancillary structures and lock-up storage shall not be located in front of the main building line.**

3.0 Outdoor Areas

Outdoor spaces can have a big impact on the way a home looks feels and functions. The scale, orientation and arrangement of outdoor spaces in relation to the home can impact how well and often they are used.

The design elements considered in this section are:

- Outdoor Living & Landscaping
- Screening & Shading Outdoor Spaces





3.1 Outdoor Living & Landscaping

Objectives

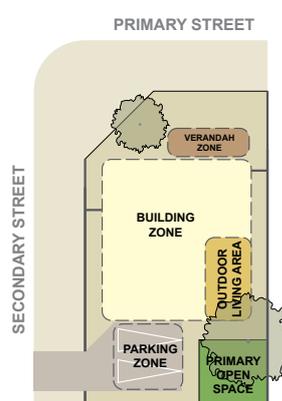
- To provide sheltered and shaded areas that can be used for outdoor entertaining and dining.
- To connect indoor and outdoor living areas.
- To provide access to a private outdoor area that is suitably sized to allow for flexible use.
- To provide landscaping that is suitable for the environment, low maintenance and enhances the overall appeal of Mitchell Creek Green.
- To provide adequate natural ventilation between the outdoor space and indoor living areas.

Design Suggestions

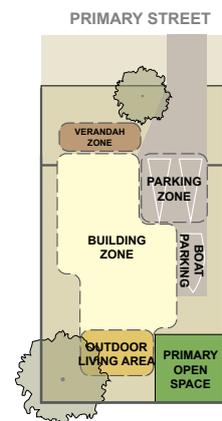
- Outdoor living areas may be located in front of, beside or behind the dwelling.
- Ceiling fans are encouraged to outdoor living areas.
- Pergolas, verandahs and courtyards are encouraged to be located adjacent to indoor living areas.
- Outdoor living areas should be connected or adjacent to a living area (e.g. kitchen, family room, dining room).
- Outdoor living areas are encouraged to have a minimum floor to ceiling height of 2.6m.
- Providing larger side and rear setbacks in key locations can create shaded alfresco zones.
- It is recommended that the primary open space area be viewable from as many rooms as possible for general amenity and also for surveillance of children's play areas.
- Waterwise plants are recommended to minimise irrigation requirements.
- Areas of lawn require more watering and maintenance than garden areas. It is recommended that lawn areas be minimised and garden areas maximised, where lifestyle permits.
- Irrigation systems should be designed and operated to suit the seasonal water needs of the landscape and minimise evaporation.
- It is recommended that trees are carefully selected and located so as not to damage pavements and other structures by aggressive root systems.

Development Controls

- 3.1.1 All houses are to have an outdoor living area of a minimum area of 12m² that is located under the roof.**
- 3.1.2 Outdoor areas are to have a hardscape floor such as paving, tiles, concrete or decking.**
- 3.1.3 Private landscape areas are to be designed and constructed to integrate into verges, including irrigation systems.**
- 3.1.4 Single dwellings on lots less than 600m² in area must be provided with a minimum 50m² of Primary Open Space with a minimum dimension of 6m x 6m adjacent to and accessible from a covered living space.**



Potential outdoor living and landscape zones for corner lots.



Typical potential outdoor living and landscape zones.



3.2 Screening & Shading Outdoor Spaces

Objectives

- To use landscape to provide shade to the building and open space areas.
- To provide a sense of privacy for you and your neighbours.
- To create a cooling local micro-climate.

Design Suggestions

- Planting to the perimeter of the block is encouraged, but species should be selected carefully to avoid overhang onto neighbour's property.
- Planting trees along the eastern, western and northern boundaries can assist in mitigating the impacts of solar gain.
- It is recommended that plantings, and especially trees, be located so as to visually soften and shade large areas of pavement such as driveways.
- Shading pool and adjoining concourse areas is recommended to facilitate extended day-time use and to reduce ambient water temperatures.
- A minimum of one shade tree is recommended to be provided in the front setback area as part of the landscape.

Development Controls

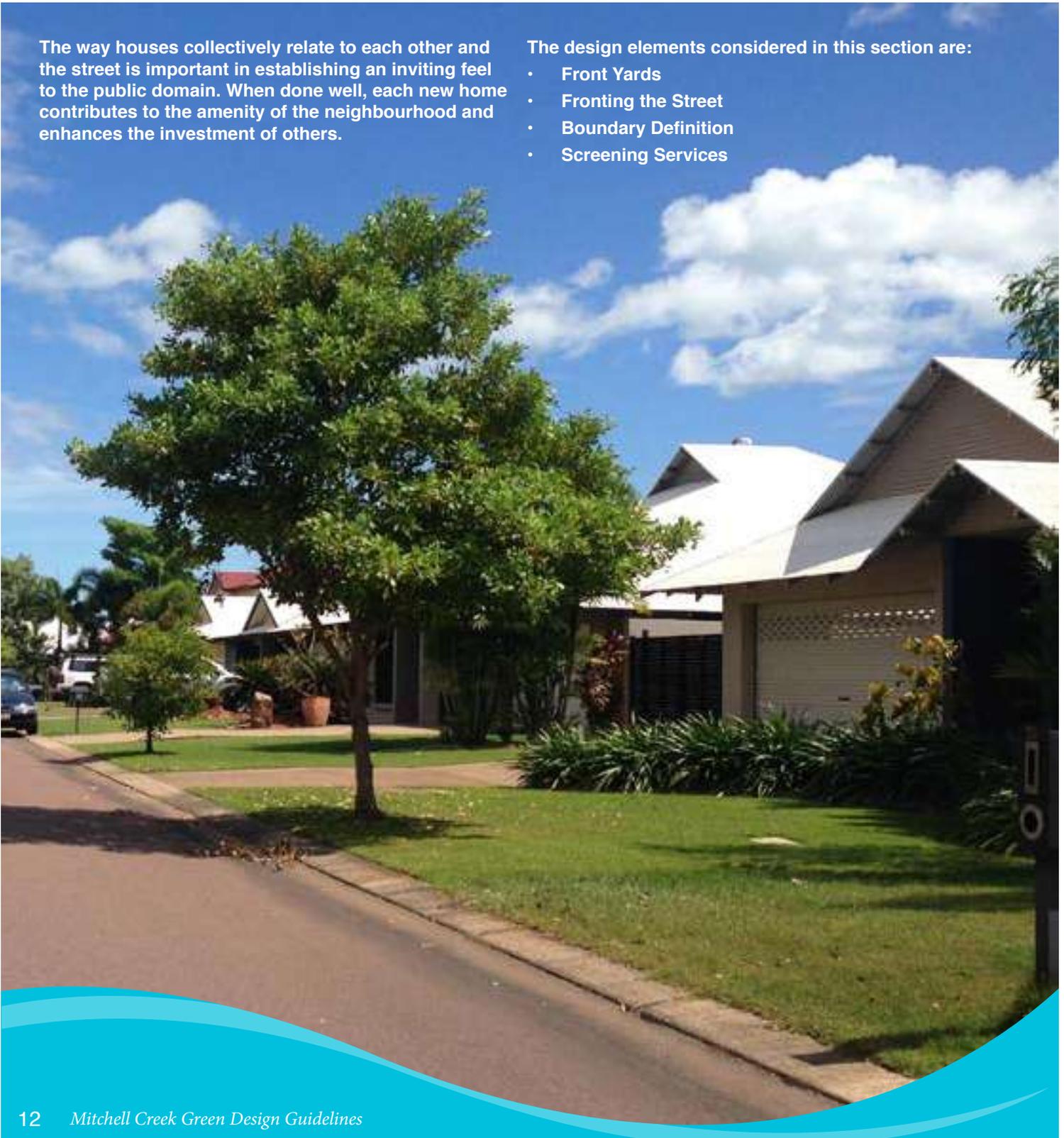
- 3.2.1 Swimming pools and spas must be screened, along with the associated pumps and filters, from the street and neighbouring houses.**

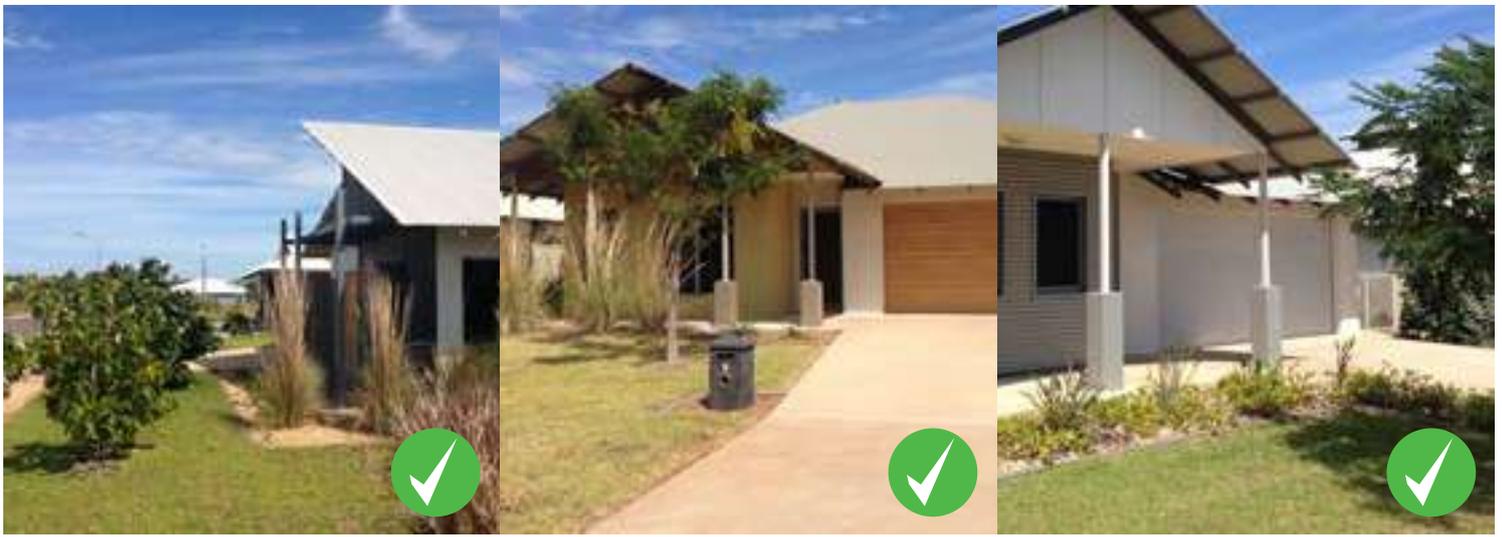
4.0 Streetscape

The way houses collectively relate to each other and the street is important in establishing an inviting feel to the public domain. When done well, each new home contributes to the amenity of the neighbourhood and enhances the investment of others.

The design elements considered in this section are:

- Front Yards
- Fronting the Street
- Boundary Definition
- Screening Services





4.1 Front Yards

Objectives

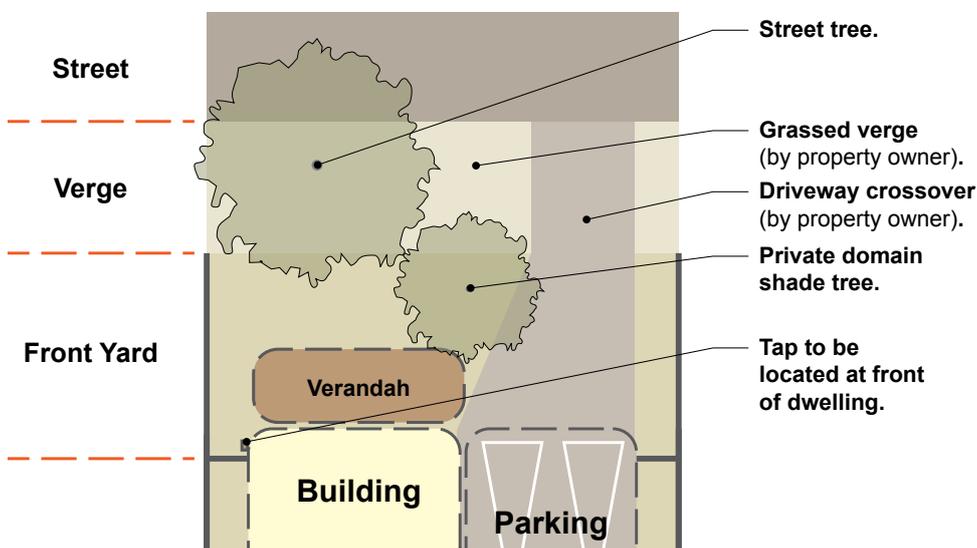
- To provide a landscaped transition area between the house and the street.

Design Suggestions

- Front yards to provide a balanced mix of shade planting and soft and hardscape landscaping.

Development Controls

- 4.1.1 The front yard must be landscaped and irrigated. A tap must be provided at the front of the dwelling to assist with owner irrigation of their front setback, verge and street trees.
- 4.1.2 Hardscape elements must not exceed 50 percent of the front garden area excluding the driveway and front path.
- 4.1.3 The property owner is responsible for verge grass installation and establishment including installation and maintenance of verge irrigation and street tree.
- 4.1.4 An irrigation conduit has been provided under footpaths to connect the front yard and verge landscaping irrigation system. The conduit is located 0.5m to the left or right of the boundary peg adjacent to the water supply.
- 4.1.5 Generally one shade tree will be provided and planted within the front verge at a time the estate is substantially built out. Verge trees are thereafter to be maintained by the landowner on an ongoing basis.



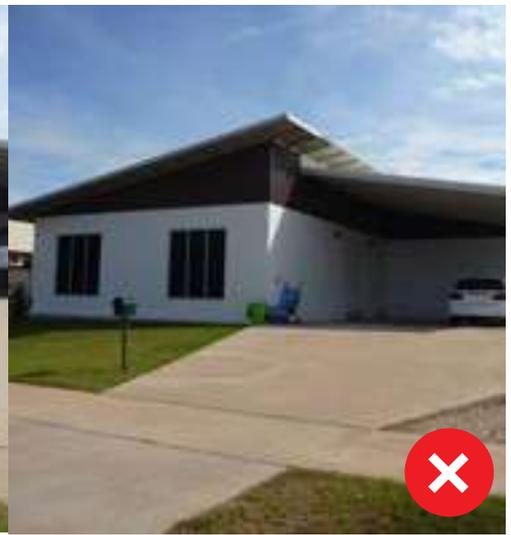
Elements in the landscape transition from the building to the street.



Verandahs and porches are encouraged.



The front door must be clearly visible from the street.



A poor example where the front door is not clearly visible from the street and opens directly off the carport.

4.2 Fronting the Street

Objectives

- To ensure that homes relate to the streetscape in a positive manner.
- To ensure that homes provide opportunities for incidental surveillance of the street to increase the perception of safety.
- To promote design strategies that provide visual interest to and reduce the perceived size and bulk of buildings.
- To express elements of the house structure and function in a way that contributes to the visual appeal of the facade.
- To encourage informal use of the front setback area and interaction with the street.

Design Suggestions

- Stepping elements of the front facade back from the main building line is encouraged to help break down the massing of homes and provide variety and visual interest.
- Verandahs and porches are encouraged.
- Verandahs are encouraged to be a minimum depth of 2.5m to allow for their comfortable use with a small table and chairs.
- Verandahs are encouraged to be slightly elevated from verge level to give a sense of security and surveillance to seated residents.
- Supports for roof structures such as verandah posts are encouraged.
- Exposed rafters are encouraged. Suggest protecting with flashings, overhangs, painting or other treatments.

Development Controls

- 4.2.1 Large blank gable ends should not dominate the front façade.
- 4.2.2 All dwellings must have at least one large window to a living room or bedroom that addresses the front street.
- 4.2.3 The front door must be clearly visible from the street.
- 4.2.4 The front door must not be accessed directly off the garage or carport.
- 4.2.5 Any house design must comprise a minimum of two materials and two contrasting colours on the front façade (excluding roller doors to carports and garages).
- 4.2.6 To avoid long featureless walls, no street facade wall may be longer than 8m long without a step of at least 500mm.
- 4.2.7 For dwellings on corner lots, in order to demonstrate that the dwelling addresses both street frontages, the architectural façade facing the primary street must be continued for a minimum of 4.5m along the return to the secondary street (also applies to lots with a side boundary abutting open space).
- 4.2.8 For dwellings on corner lots, the services side of the dwelling is not to be on the same side as the secondary street (also applies to lots with a side boundary abutting open space).
- 4.2.9 Visible edges of floor slabs more than 600mm in height are not permitted unless appropriately finished or screened (e.g. using a footing edge beam or block build up).
- 4.2.10 Notwithstanding the objectives and development controls within these Design Guidelines, dwellings shall not detract from the streetscape character in terms of the overall consistency of the streetscape, including landscaping, storage or parking of vehicles and goods in the front yard.



A good example of fencing containing the rear yard that is set back from the front building line.



Front boundary fencing is not permitted, except for lots less than 13m wide.

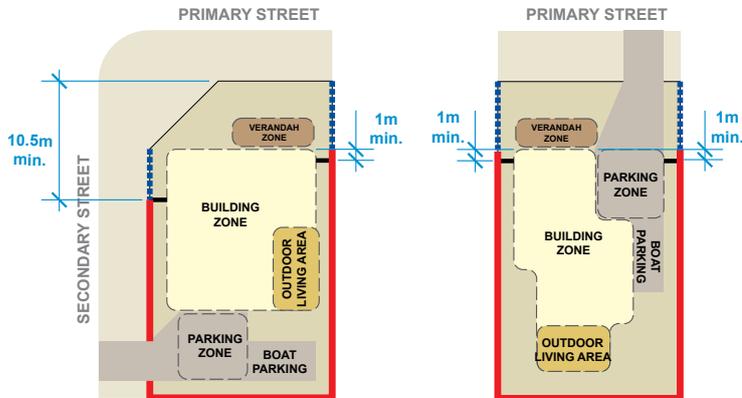
4.3 Boundary Definition

Objectives

- To create an open relaxed feel to the neighbourhood.
- To allow for a transition of spaces from private to public domain.

Design Suggestions

- The use of landscape elements such as trees and shrub plantings to help define the property boundary are encouraged.

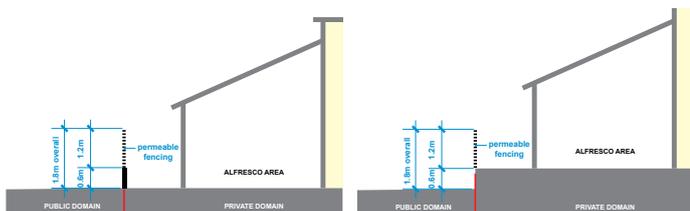


Permissible fencing areas for corner lots.

Typical permissible fencing areas.

LEGEND

- Fence Type A**
max. 1800mm height
- Fence Type B**
max. 900mm height
- Fence Type C**
rear yard enclosure fence



Acceptable boundary interface treatments to open space areas.

Development Controls

- 4.3.1** Side boundary fencing may only extend forward of the front building line if it is of maximum overall height 900mm (unless enclosing a primary open space as permitted above).
- 4.3.2** No screen fencing is permitted between the primary street and dwelling.
- 4.3.3** Fences to screen the rear yard must be set back a minimum of 1m behind the front building line.
- 4.3.4** For corner lots, no side fencing greater than 900mm high is permitted on the secondary street frontage for 10.5m from the primary street frontage.
- 4.3.5** Boundaries to the open space are required to be fenced with a maximum overall height of 1.8m (measured from the public realm side) and a maximum height of visually impermeable fencing of 0.6m at the base of the fence and measured from finished ground level (also see Section 2.2).
- 4.3.6** Lots with a side or rear boundary onto Zuccoli Parade or Tuckeroo Boulevard (including those Stage 2B lots fronting Zuccoli Parade) shall provide fencing in accordance with the estate fencing detail.
- 4.3.7** PVC fabrics, bamboo and other materials should not be fixed to fencing under any circumstances.
- 4.3.8** Chainwire with matching posts are permitted on side and rear boundaries only. This fencing must not be used for any area of the fence facing the street or public areas.

4.4 Screening Services

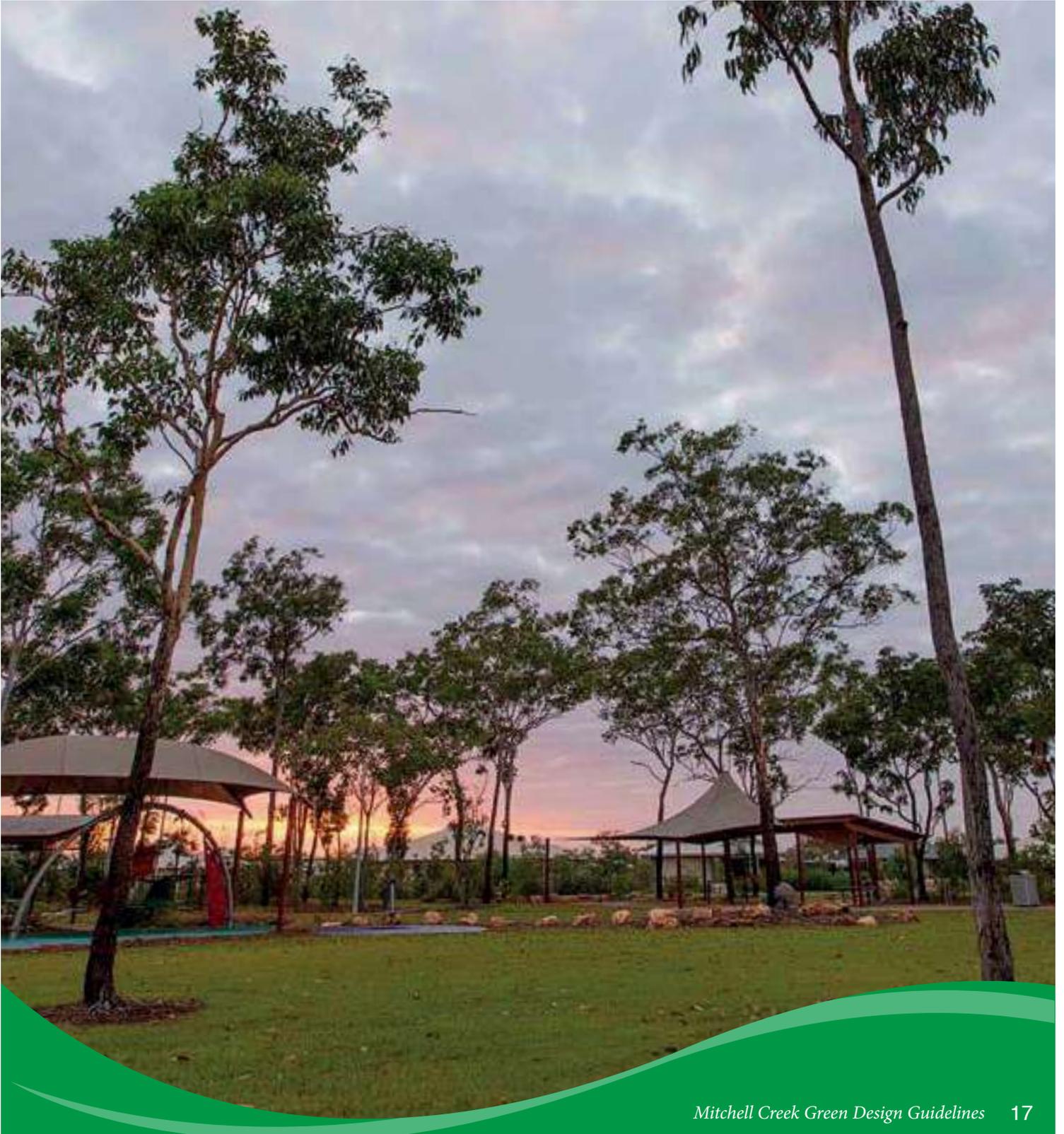
Objectives

- To minimise the impact of external building service elements.

Development Controls

- 4.4.1 Bin storage locations are to be nominated and are required to be screened from the street.**
- 4.4.2 External building services are to be located to the rear of the dwelling. This includes, but is not limited to, satellite dishes, TV antennae, solar panels and hot water systems.**
- 4.4.3 Air-conditioning units are not permitted to be situated on the front façade of a dwelling and if situated on the side elevation, are to be located at least 4m back from the front facade, unless screened from the street.**

Guidelines Checklist



1.0 Guidelines Checklist

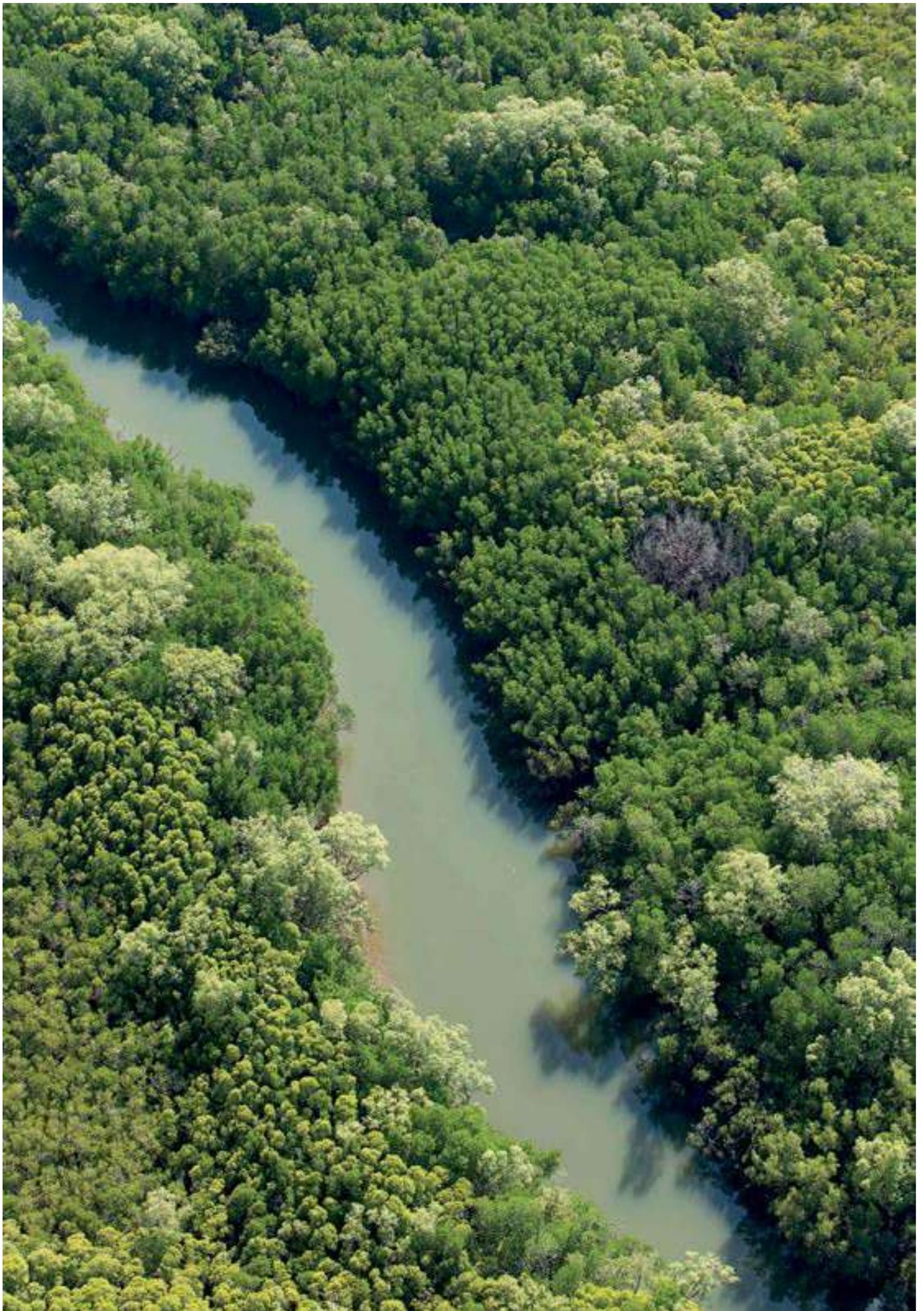
Element	Requirement	Yes	No	N/A	Comment
1.1 Required Documents	1.1.1 Is a site plan provided that indicates setbacks from boundaries?				
	1.1.2 Are floor plans and elevations provided?				
	1.1.3 Has a Stormwater Management Plan been provided?				
	1.1.4 Has an Erosion and Sediment Control Plan been provided?				
	1.1.5 Has a Landscaping Plan been provided?				
	1.1.6 Has a Materials and Finishes schedule been provided, along with annotated illustrative elevations or 3D renders?				
2.1 Responding to Climate	2.1.1 Is a 900mm min. eave overhang provided generally unless a zero lot line or 450mm for gables?				
	2.1.2 Are openings designed to optimise passive cooling opportunities?				
	2.1.3 Are floor to ceiling heights a minimum of 2.6m?				
	2.1.4 Is a minimum of one car bay covered by way of a carport or garage?				
2.2 Responding to Surroundings	2.2.1 Does the design demonstrate how passive surveillance of open space has been achieved?				
2.3 Height & Scale	2.3.1 Is the house design a permanent and non-relocatable dwelling?				
	2.3.2 Does the design ensure that overlooking of key living areas or primary open spaces of neighbouring homes is avoided?				
	2.3.3 Do any upper level decks or balconies incorporate adequate privacy measures?				
2.4 Parking & Access	2.4.1 Are crossovers constructed in accordance with current City of Palmerston Council standards?				
	2.4.2 Is the carport or garage built in a style and materials that is complementary to the dwelling?				
	2.4.3 Does the carport or garage project no more than 1.5m in front of the main building line?				
	2.4.4 Are garage locations and driveway crossovers located so as not to clash with subdivision street infrastructure?				
	2.4.5 For those Stage 2B lots fronting Zuccoli Parade, is vehicular access off the internal road?				
	2.4.6 Can a minimum of two car bays be accommodated on sites with a minimum of one car bay being covered by way of a carport or garage?				

2.5 Stormwater & Drainage	2.5.1	Does the site fall away from the building line?				
	2.5.2	Does the site maintain a fall towards the street, adjoining open space or drainage pits?				
	2.5.3	Are finished floor levels above the finished ground level?				
	2.5.4	Has a Stormwater Management Plan been prepared?				
	2.5.5	Does the Stormwater Management Plan demonstrate provisions for Storm Water disposal to the Storm Water system in the street or at the back of the lot?				
	2.5.6	Does the Storm Water Management Plan illustrate an underground piped drainage system for lots that collect runoff from the rear yard area?				
	2.5.7	Has an Erosion and Sediment Control Plan been prepared?				
2.6 Ancillary Structures	2.6.1	Are ancillary structures located so as not to be visible from the street?				
	2.6.2	Does the design include an external drying area and facilities?				
	2.6.3	Does the area of sheds not exceed 12m ² or a roof ridge height of 3m?				
	2.6.4	If provided, is the lockable storage space located under the same roof or built with the same or complementary materials as the dwelling?				
	2.6.5	Are all outdoor structures noted on the plan?				

3.1 Outdoor Living & Landscaping	3.1.1	Is an outdoor area provided with a minimum area of 12m ² that is located under the roof?				
	3.1.2	Does the outdoor area have a hardscape floor?				
	3.1.3	Are private landscape areas designed to integrate into the verges?				
3.2 Screening & Shading Outdoor Spaces	3.2.1	Are swimming pools, spas and associated pumps and filters screened from the street and neighbouring houses?				

4.1 Front Yards	4.1.1	Is the front yard landscaped and irrigated?				
	4.1.2	Has a tap been provided at the front of the dwelling?				
	4.1.3	Is the front yard area covered by no more than 50% paved or other hardscape elements?				
	4.1.4	Has verge grass been provided, along with its own irrigation system to also allow an addition of a street tree for the future?				
4.2 Fronting the Street	4.2.1	Are large blank gable ends avoided?				
	4.2.2	Does the dwelling have at least one large window to a living room or bedroom that addresses the front street?				
	4.2.3	Is the front door clearly visible from the street?				
	4.2.4	Is the front door not accessed directly off the garage or carports?				
	4.2.5	Does the front wall elevation comprise a min. of 2 materials and 2 contrasting colours (excl. roller doors)?				
	4.2.6	Is the maximum length of un-stepped street facade walls 8m?				
	4.2.7	Does the corner lot dwelling continue the architectural facade treatment of the front facade for a minimum of 4.5m along the return to the secondary street?				
	4.2.8	Has the service side of a corner dwelling been located away from the secondary street?				
	4.2.9	Have any visible floor slabs over 600mm high been appropriately finished or screened?				
	4.2.10	Does the dwelling maintain the overall consistency of the character of the streetscape?				
4.3 Boundary Definition	4.3.1	Is there no screen fencing between the primary street and dwelling?				
	4.3.2	If applicable, is the front boundary fence no more than 900mm in height and if so, is the fence permeable above 900mm?				
	4.3.3	Is side fencing forward of the building line no more than 900mm high?				
	4.3.4	Are fences to contain the rear yard set back a minimum of 1m from the front building line?				
	4.3.5	For corner lots, is fencing within 10.5m of the primary street frontage no more than 900mm high?				
	4.3.6	Are boundaries to open space a maximum overall height of 1.8m, with a maximum height of 0.6m of visually impermeable fencing at the base of the fence?				

	4.3.7	Are lots with a side or rear boundary onto Zuccoli Parade and Tuckeroo Boulevard (including those Stage 2B lots fronting Zuccoli Parade) fenced in accordance with the estate fencing detail?				
	4.3.8	Have appropriate fencing details been provided?				
4.4 Screening Services	4.4.1	Are bin storage locations nominated and screened from the street?				
	4.4.2	Are all external building services or plant located to the rear of the dwelling?				
	4.4.3	Are air-conditioning units located away from the front facade and at least 4m from the front facade (unless screened)?				



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